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Received 1 - 36 pages

Sign

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Inspection Report

Prepared For:

Kevin Lu

Property Address:

**1111 Alma Street
Palo Alto, CA 94301**

Inspected on Tue, Apr 5 2022 at 10:00 AM

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Thank you for choosing Saber Roofing, Inc. to perform your roof inspection. We understand that the function of this report is to assist you in understanding the condition of the roof system to assist in making an informed decision when purchasing / selling your home.

The report contains a review of roofing and roofing related components and may contain additional information not directly related to the roof system but worth noting for other trade specialists. This report is designed to be easy to read and comprehend however please note the following exclusions:

- Decks/patios and detached structures may not be included in this report unless specifically mentioned.
- This report is not meant to be a stated or implied warranty in any way, but an opinion based on a visual inspection of the roof system.
- Typically inspections are completed by walking on the roof system and inspecting the interior/attic when accessible. In some cases due to safety concerns or lack of walk ability on the roof system, drone footage may be used at no additional cost. This may limit the ability of our inspection.
- If applicable, a separate repair and/or re-roof quote will be provided to rectify deficiencies noted in the report.

General

| | |
|------------------------------------|---|
| Building Type : | Single-Family |
| Leakage Reported?: | None |
| Were Emergency Repairs Performed?: | No |
| Approximate Age: | 15+ Years At House, 2-7 Years At Both ADU's |
| Primary Slope Of Roof: | 6/12 At House, 4/12 At ADU's |

Roof Description And Life Expectancy



Comment 1:

HOUSE: The above mentioned roof system is an asphalt shingle (1 layer) which has a rough life expectancy of 20-25 years with proper maintenance and care. This roof system appears to be approximately 15 years old. With the below mentioned deficiencies being rectified and proper maintenance and care, this roof should provide for a watertight condition for the next 5+ years. This is in no way a stated or implied warranty, but an opinion based on a visual inspection of the roof system.



Figure 1-1



Figure 1-2



Figure 1-3



Figure 1-4

(Roof Description And Life Expectancy continued)



Figure 1-5



Figure 1-6



Figure 1-7

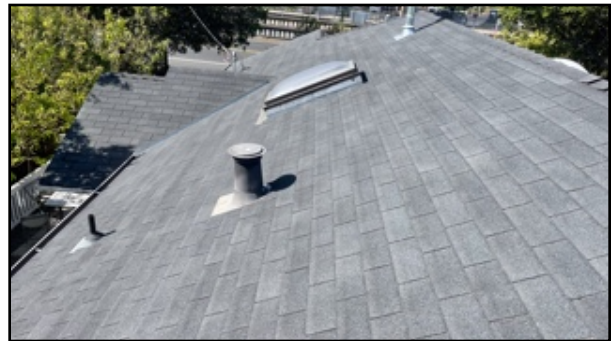


Figure 1-8



Comment 2:

RIGHT SIDE ADU: The above mentioned roof system is an asphalt shingle (1 layer) which has a rough life expectancy of 25+ years with proper maintenance and care. This roof system appears to be approximately 2-6 years old. With the below mentioned deficiencies being rectified and proper maintenance, this roof system should provide for a watertight condition for the next 10+ years.

(Roof Description And Life Expectancy continued)

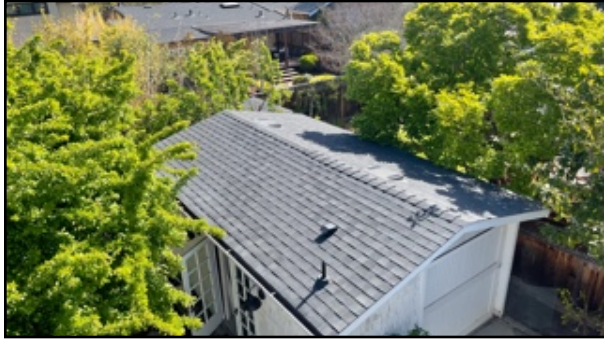


Figure 2-1



Figure 2-2



Figure 2-3



Comment 3:

LEFT SIDE ADU: The above mentioned roof system is an asphalt shingle (1 layer) which has a rough life expectancy of 25+ years with proper maintenance and care. This roof system appears to be approximately 2-6 years old. Due to the below mentioned deficiencies and poor installation, replacement of this roof is recommended.

Comments

(Comments continued)



Comment 4:

The shingles do not overhang the recommended 1/2-1" at miscellaneous locations of the rear left side ADU. Repairs recommended.

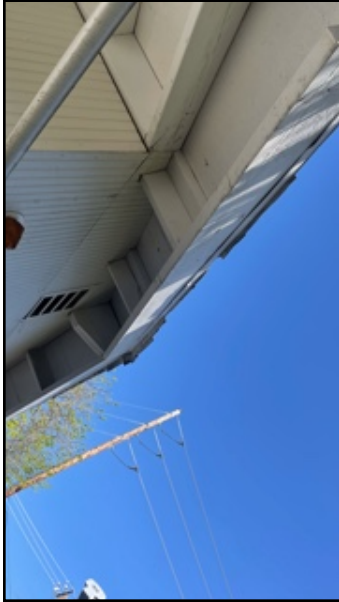


Figure 4-1



Figure 4-2



Comment 5:

No starter strip/shingle was installed at the eaves nor appropriate edge metal/nosing to protect the edge of the plywood at the rear left side ADU. Repairs recommended.

(Comments continued)



Figure 5-1



Figure 5-2



Figure 5-3



Figure 5-4

(Comments continued)



Comment 6:

Missing and uplifted skylight flashings were noted at the bathroom skylight of the rear left side ADU. Repairs recommended.



Figure 6-1



Figure 6-2



Figure 6-3



Figure 6-4



Comment 7:

Inadequately sealed roof jacks were noted on the rear left side ADU, repairs recommended.

(Comments continued)



Figure 7-1



Figure 7-2



Comment 8:

Sealant has been applied to the entire skylight and flashing kit at the living room skylight on the rear left ADU. Repairs recommended.



Figure 8-1



Figure 8-2

(Comments continued)



Figure 8-3



Comment 9:

The existing shingles on the rear left side ADU are overexposed and not installed per manufacturer's recommendations. No repairs are possible to correct this deficiency.



Figure 9-1

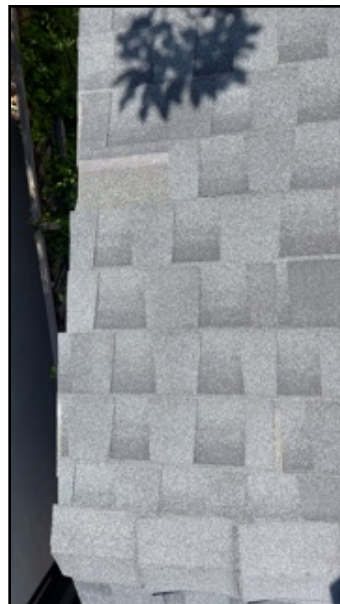


Figure 9-2

(Comments continued)



Comment 10:

The existing shingles on the rear left side ADU were not nailed per manufacturers recommendations nor industry standards. No plausible repairs are possible for this deficiency.



Figure 10-1



Comment 11:

Missing shingles and improperly installed shingles were noted at the rear left side ADU. Repairs recommended.

(Comments continued)

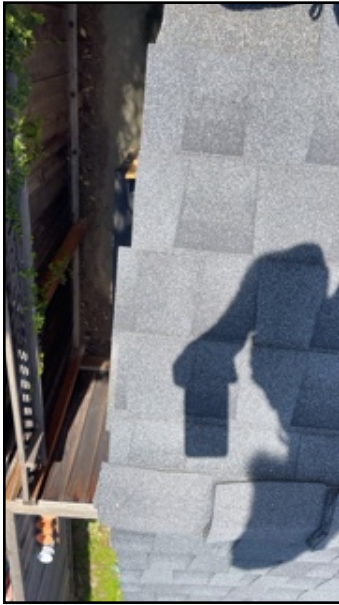


Figure 11-1

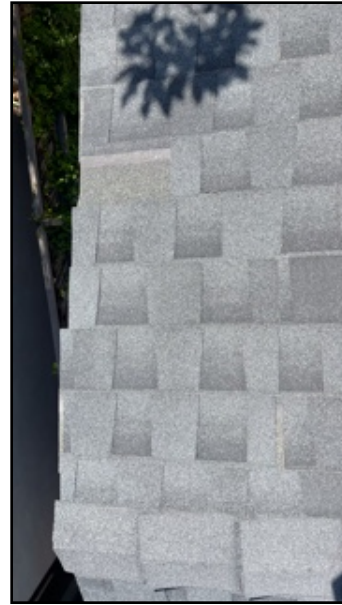


Figure 11-2



Comment 12:

Exposed fasteners were noted at the right side ADU and main house. Repairs recommended.



Figure 12-1



Figure 12-2

(Comments continued)



Figure 12-3



Comment 13:

Previous repairs were noted to the elect riser riser and adjacent shingles. The quality of these repairs cannot be verified but is hereby noted.



Figure 13-1

(Comments continued)



Comment 14:

Inadequately sealant and/or improperly counter-flashed step shingles were noted at multiple roof to wall junctions. Repairs recommended to ensure proper waterproofing.



Figure 14-1



Figure 14-2



Figure 14-3



Figure 14-4

(Comments continued)



Figure 14-5



Comment 15:

Minor crazing was noted to the main house acrylic skylight. No repairs are required at this time, but continue to monitor for water intrusion.



Figure 15-1



Figure 15-2



Comment 16:

No starter shingles were used at the main house front eave(s). No plausible repairs are required at this time, but continued monitoring is recommended.

(Comments continued)



Figure 16-1



Figure 16-2



Comment 17:

The existing storm collar on the furnace/water heater vent pipe is not adequately sealed to the base flashing. Repairs recommended.

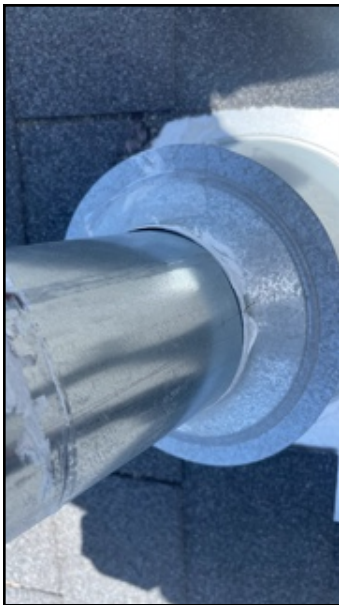


Figure 17-1

Gutters And Downspouts



Comment 18:

The existing gutters appear to be 5" aluminum ogee style with 2" round downspouts. In general the gutters were in serviceable condition unless otherwise noted.



Figure 18-1



Figure 18-2



Figure 18-3

Comments

(Comments continued)


 **Comment 19:**
Multiple stains/leaks were noted at the drop outlet/downspout connections.
Sealant repairs recommended.



Figure 19-1



Figure 19-2



Figure 19-3

(Comments continued)



Comment 20:

Considerable debris build up was noted inside the gutters. Regular maintenance recommended to ensure proper water drainage.



Figure 20-1

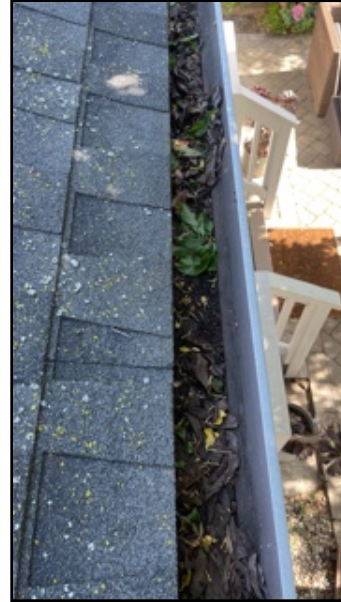


Figure 20-2



Figure 20-3



Figure 20-4

(Comments continued)



Comment 21:

Portions of the ADU's do not have gutter systems installed. Recommend continued monitoring to see if gutter installation is required.

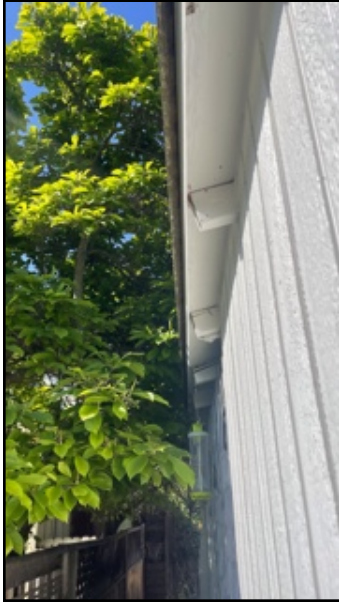


Figure 21-1



Figure 21-2

Report Summary

Roof Description And Life Expectancy: Comments

1) The shingles do not overhang the recommended 1/2-1" at miscellaneous locations of the rear left side ADU. Repairs recommended.

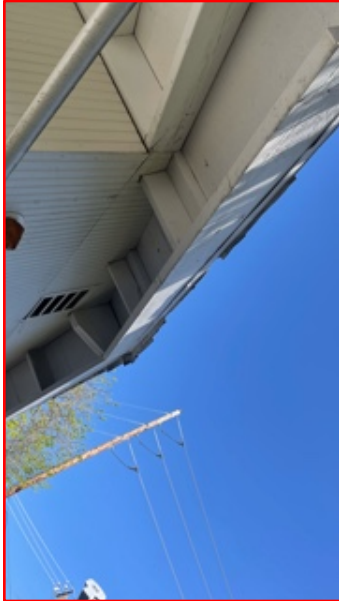


Figure 4-1



Figure 4-2

2) No starter strip/shingle was installed at the eaves nor appropriate edge metal/nosing to protect the edge of the plywood at the rear left side ADU. Repairs recommended.



Figure 5-1



Figure 5-2

(Report Summary continued)



Figure 5-3



Figure 5-4

3) Missing and uplifted skylight flashings were noted at the bathroom skylight of the rear left side ADU. Repairs recommended.



Figure 6-1



Figure 6-2

(Report Summary continued)



Figure 6-3



Figure 6-4

4) Inadequately sealed roof jacks were noted on the rear left side ADU, repairs recommended.



Figure 7-1



Figure 7-2

5) Sealant has been applied to the entire skylight and flashing kit at the living room skylight on the rear left ADU. Repairs recommended.

(Report Summary continued)



Figure 8-1



Figure 8-2



Figure 8-3

6) The existing shingles on the rear left side ADU are overexposed and not installed per manufacturer's recommendations. No repairs are possible to correct this deficiency.

(Report Summary continued)



Figure 9-1

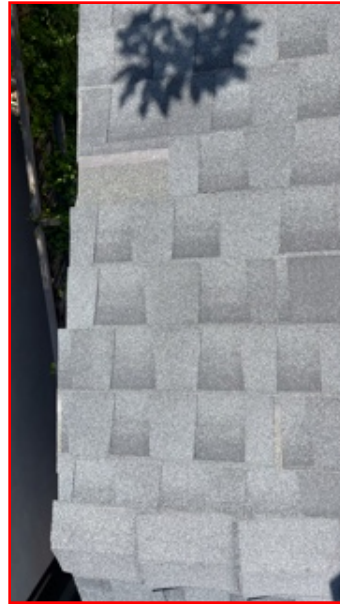


Figure 9-2

7) The existing shingles on the rear left side ADU were not nailed per manufacturers recommendations nor industry standards. No plausible repairs are possible for this deficiency.



Figure 10-1

8) Missing shingles and improperly installed shingles were noted at the rear left side ADU. Repairs recommended.

(Report Summary continued)

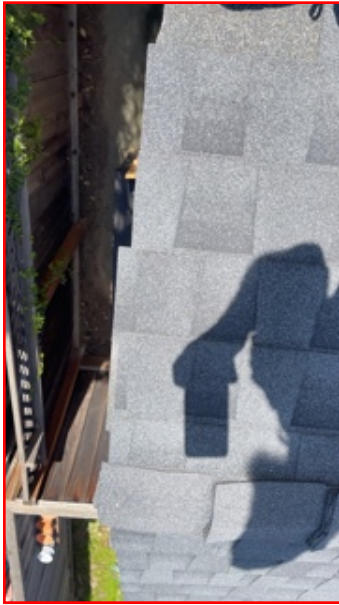


Figure 11-1

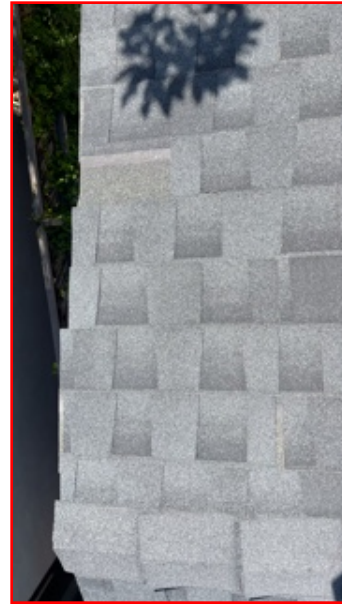


Figure 11-2

9) Exposed fasteners were noted at the right side ADU and main house. Repairs recommended.



Figure 12-1



Figure 12-2

(Report Summary continued)



Figure 12-3

10) Previous repairs were noted to the elect riser riser and adjacent shingles. The quality of these repairs cannot be verified but is hereby noted.



Figure 13-1

11) Inadequately sealant and/or improperly counter-flashed step shingles were noted at multiple roof to wall junctions. Repairs recommended to ensure proper waterproofing.

(Report Summary continued)



Figure 14-1



Figure 14-2



Figure 14-3



Figure 14-4

(Report Summary continued)



Figure 14-5

12) Minor crazing was noted to the main house acrylic skylight. No repairs are required at this time, but continue to monitor for water intrusion.



Figure 15-1



Figure 15-2

13) No starter shingles were used at the main house front eave(s). No plausible repairs are required at this time, but continued monitoring is recommended.

(Report Summary continued)



Figure 16-1



Figure 16-2

14) The existing storm collar on the furnace/water heater vent pipe is not adequately sealed to the base flashing. Repairs recommended.

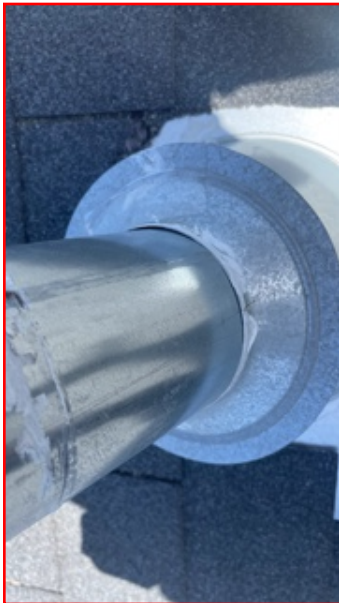


Figure 17-1

(Report Summary continued)

Gutters And Downspouts: Comments

15) Multiple stains/leaks were noted at the drop outlet/downspout connections. Sealant repairs recommended.



Figure 19-1



Figure 19-2



Figure 19-3

16) Considerable debris build up was noted inside the gutters. Regular maintenance recommended to ensure proper water drainage.

(Report Summary continued)



Figure 20-1

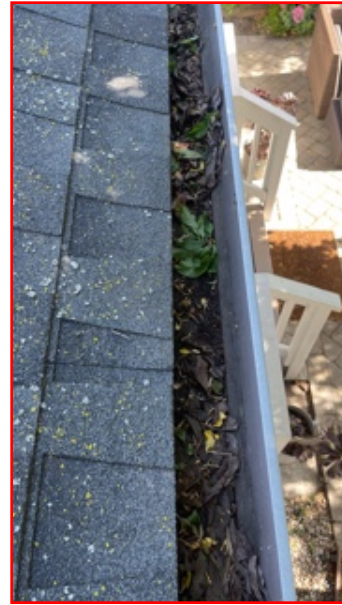


Figure 20-2



Figure 20-3



Figure 20-4

17) Portions of the ADU's do not have gutter systems installed. Recommend continued monitoring to see if gutter installation is required.

(Report Summary continued)



Figure 21-1



Figure 21-2

The roof of the dwelling at the above property has been inspected by a qualified inspector employed by Saber Roofing, Inc. The professional opinion of the inspector contained in this report is solely an opinion based on a visual inspection and does not constitute a warranty or guarantee. Performance and/or troubleshooting of existing conditions, such as water testing, are NOT included in the scope of our inspection. This roof was not inspected for conformance to local building codes. This inspection does not cover all attic areas for current or past water intrusion.